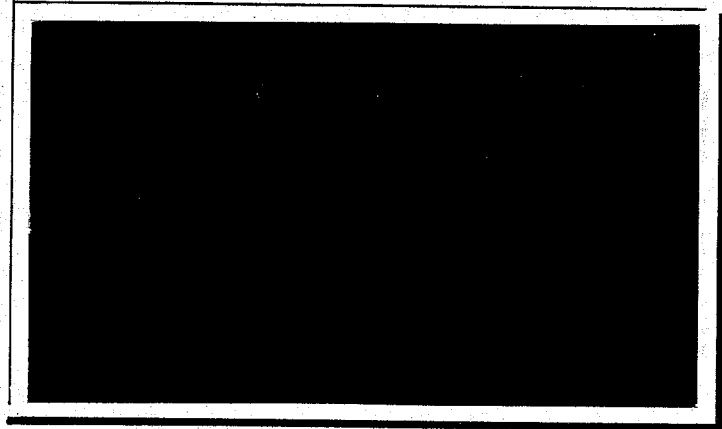


Michigan Coastal Zone Management Program

MICHIGAN  
OCZM GRANT #NA-80-AA-H-CZ157  
SUBTASK 3D-10.2  
(Part 4 of 4)



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FRANKFORT COASTAL ZONE  
MANAGEMENT PLAN  
PARK MASTER PLANS  
PART IV

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## PARK MASTER PLANS

### INTRODUCTION

This section presents the Master Plan for the Lake Michigan Beach and the Betsie Lake Waterfront Park System. Also presented is the development program for each park and a selection of typical facility layouts.

#### 1. Development Programs

A development program is a list of improvements and performance requirements. It sets forth operational policies which affect the Master Plan layout.

These park development programs are based upon the goals of the overall Coastal Zone Plan, professional analysis, and local input.

## BETSIE LAKE WATERFRONT

1. Type of Park: (active/passive)      Active: Boat Launching Ramp  
Passive: Other Activities
2. Major Features or Activities:
  - a. Boat Launching Facility
  - b. Picnic Facilities and Open Space
  - c. Marina and Charter Boat Fleet
  - d. Band Shell, Sound and Light Show
  - e. Historical Exhibits (maritime, lumbering, railroad) and Mineral Spring
  - f. Ferry Service (to Manitou Islands)
  - g. Special Events
3. Usage Intensity: Moderate to Heavy
4. Performance Requirements: A major focal point for visitors and a special events activity center. This park must complement the downtown area and be a showcase for Frankfort's visitors.
5. Usage: (day/evening/night) (year-round/seasonal): Primarily day and evening usage; primarily seasonal; some night usage of the marina.
6. Management:

Fee Basis/Free: Marine, charter boat slips, boat launch, and museum on a fee basis.

Staffing: Administrative - City Supervisor  
Supervisory - Marina Attendant  
                  Launching Ramp Attendant  
                  Museum Director  
Maintenance - General Maintenance by City Staff
7. General Improvements:
  - a. Additional Picnic Sites
  - b. Parking
  - c. Rest Rooms - Rehabilitation
  - d. Expand Marina and Moorings
  - e. Historical Exhibits and Vessel(s) (museum)
  - f. Ferry Landing
  - g. Band Shell
  - h. Mineral Spring Rehabilitation
  - i. Fish Cleaning Stations

## LAKE MICHIGAN BEACH

1. Type of Park: (active/passive)  
Active: Swimming  
Passive: Picnicking  
Fishing
2. Major Features or Activities:
  - a. Swimming
  - b. Picnicking and Sunbathing
  - c. Fishing (pier)
  - d. Special Events
3. Usage Intensity: Moderate to Heavy
4. Performance Requirements: An important visitor attraction which supports area lodging.
5. Usage: (day/evening/night) (year-round/seasonal): Day and evening usage only; primarily seasonal.
6. Management:  
Fee Basis/Free: Free usage with concession sales  
Staffing: Administrative - City Supervisor  
Supervisory - Life Guards  
Maintenance - General Maintenance by City Staff  
Other - Concession operation by private operator or non-profit group
7. General Improvements:
  - a. Beaching Grading and Wind Erosion Stabilization
  - b. Expand Parking
  - c. Rest Rooms and Bathhouse
  - d. Concession Stand
  - e. Picnic and Playground Facilities
  - f. Access Control/Improvement to the Breakwater

## 2. Alternatives

Alternative layouts were developed and analyzed in-house. These alternatives were based upon the development program and site inventories. Other elements which were considered are:

- a. Capital Improvement and Life Cycle Costs
- b. Implementation Limitations and Opportunities
- c. Physical Characteristics of the Site
- d. User Needs
- e. Key Requirements or Applicable Laws and Regulations
- f. Safety Needs

## 3. Betsie Lake Waterfront Park System Master Plan Features

The Master Plan (Plate I) provides for improvements and new facilities. Notably, these include:

- a. New Fish Cleaning Stations. One at the boat launch facility and the other where the charter fleet is relocated.
- b. A floating restaurant/cocktail lounge and parking lot. It will be a franchise privilege leased to a private operator.
- c. An expanded charter fishing fleet.
- d. An Expanded City Marina. This should be a phased development program. It should make use of the existing docks.
- e. A Band Shell and Amphitheater. The band shell should be designed so as not to block the Betsie Lake view. The amphitheater could be as simple as surface contouring or it could be more elaborate with permanent seating. If equipped with a sound and light system, it could be used for evening concerts.

- f. Until the confined disposal facility is finished, a temporary display area is located in Mineral Spring Park.
- g. Structural improvements and architectural rehabilitation of the Mineral Spring structure is required. Likewise, other existing structures must be brought to, and maintained in, first class condition.
- h. Picnic area improvements include additional picnic tables and stoves, playground equipment (grouped in one area), and landscaping.
- i. Visitor Center. A small visitor information center is provided near the existing public telephone.
- j. The public library remains unchanged.
- k. Ferry/Cruise Ship Dock. The dock used by the dredge will be used for ferries and Great Lakes cruise ships.
- l. Museum, historical exhibits, and ships on display. The museum buildings will be moved onto the site from the region. These should be older houses, preferably of historic interest. Houses or structures slated for demolition are prime candidates. Other aspects of the historic exhibits are described in the Coastal Zone Plan features.
- m. C. S. Kibby Memorial Boat Launching Facility. Only minor improvements to the boat launch are planned. A new fish cleaning station and picnic facilities are provided.
- n. Mooring Area. A mooring area is provided for the boat launch facility. This would be used for cruising boaters (especially peak weekend overflow) and for seasonal boaters.



#### 4. Lake Michigan Beach Master Plan Features

The Master Plan (Plate I) provides for improvements, dune stabilization, and new facilities. Notably, these include:

- a. Breakwater Access Boardwalk. This will control access to the breakwater. Likewise, safety railings should be added to the breakwater.
- b. Erosion Stabilization. All available information indicates that the shoreline within the breakwaters is stable; however, the beach has bare areas of open sand. These are subject to severe wind erosion. They must be stabilized by grading and developing a plant community.
- c. Beach Pavilion and Concession. The pavilion should provide rest rooms and changing rooms at minimum. The concession stand (hot dogs, hamburgers, soft drinks, sun tan oil, etc.) could be run by a local service organization or a private business.
- d. Parking Lot Expansion. During the season, there is a serious parking shortage. The parking lot should be expanded, even if it is necessary to acquire additional land.
- e. Street Abandonment. The abandonment is part of the hotel complex development; however, it must not upset the park plan. This street segment is not necessary for park development.
- f. Picnic and Playground Facilities. These facilities should be provided along the upland portion of the beach.

#### 5. Implementation

Implementation of the park improvements is presented in the implementation section of the Coastal Zone Plan. Refer to Implementation Element No. 2.

#### 6. Typical Facility Layouts

The following are layouts of selected facilities developed for other parks. They are presented as examples of typical facilities only. They are not intended to be used for construction.

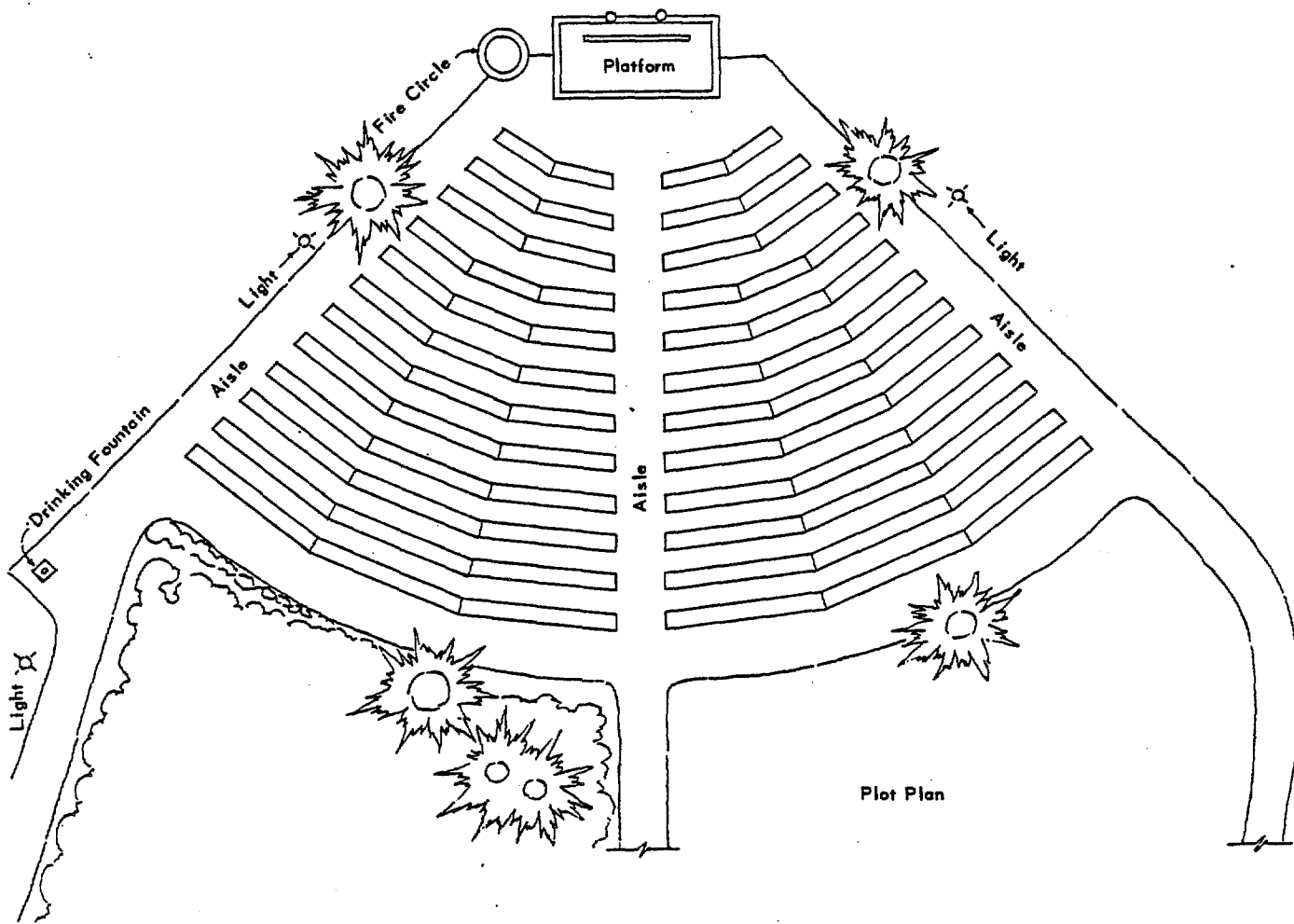
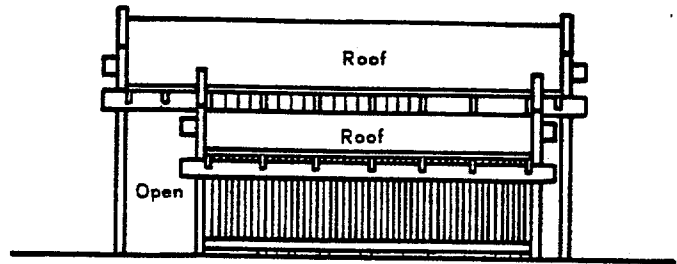
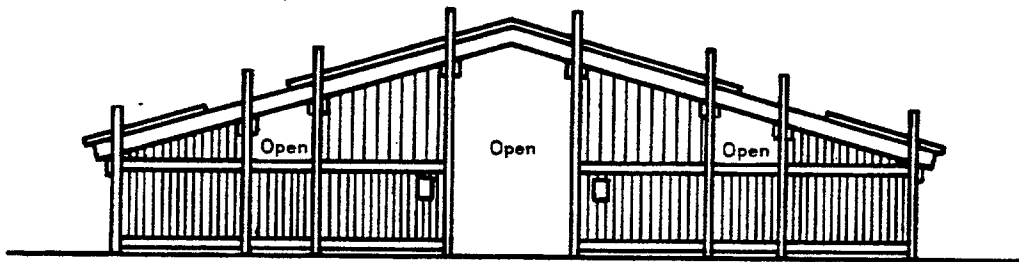


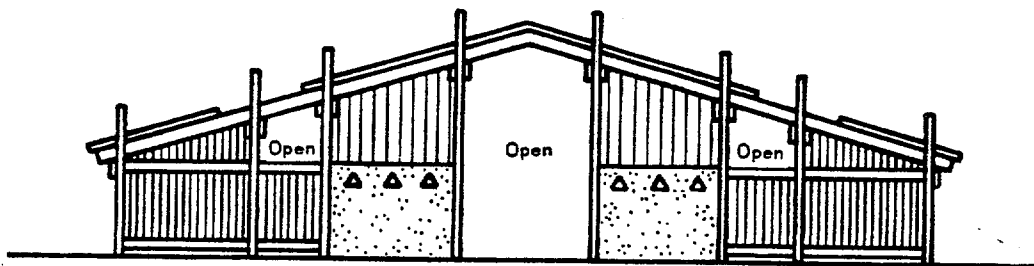
Fig. 27 - Typical Amphitheater Layout



END ELEVATION



ENTRANCE ELEVATION



BEACH ELEVATION

Fig. 28 - Typical Bathhouse

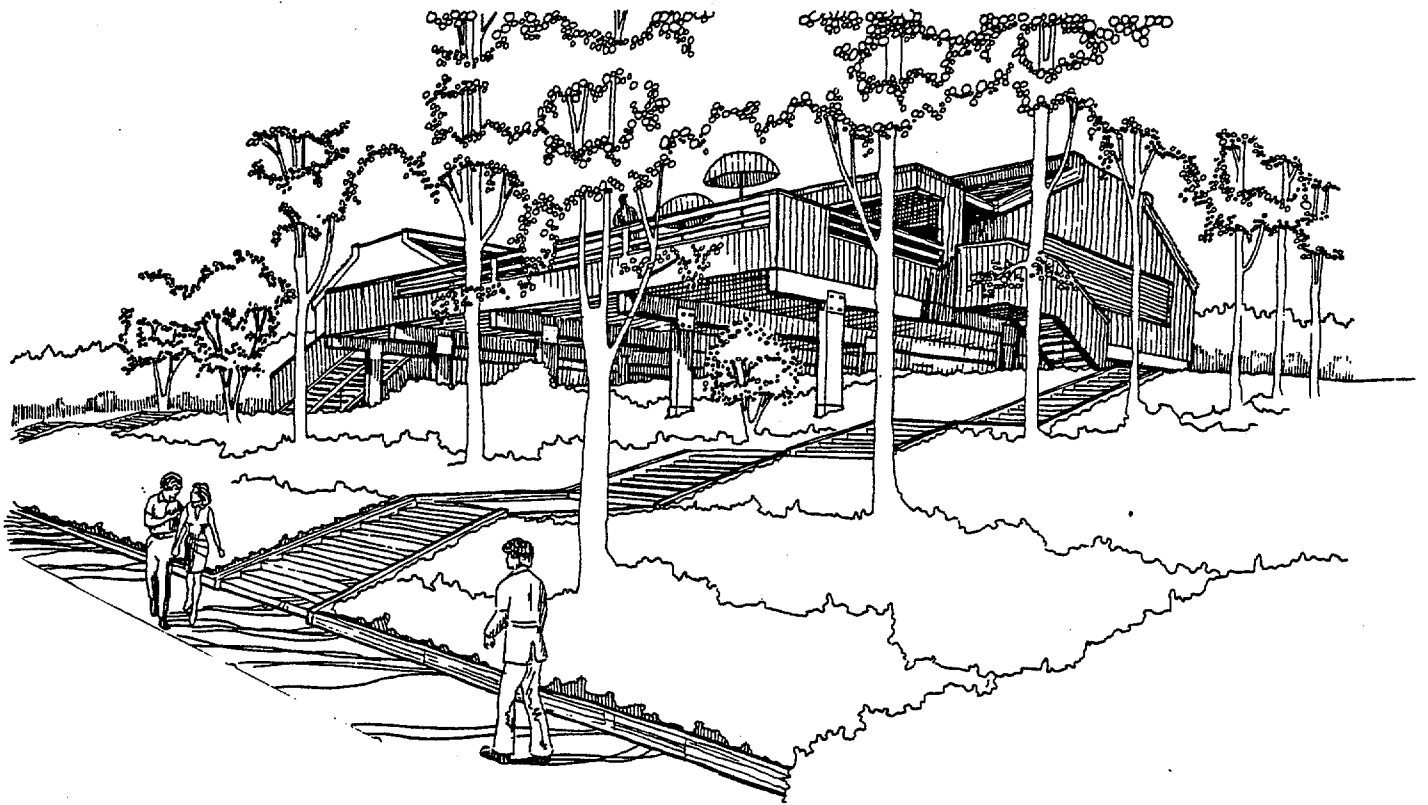


Fig. 29 - Typical Beach Pavilion and Concession

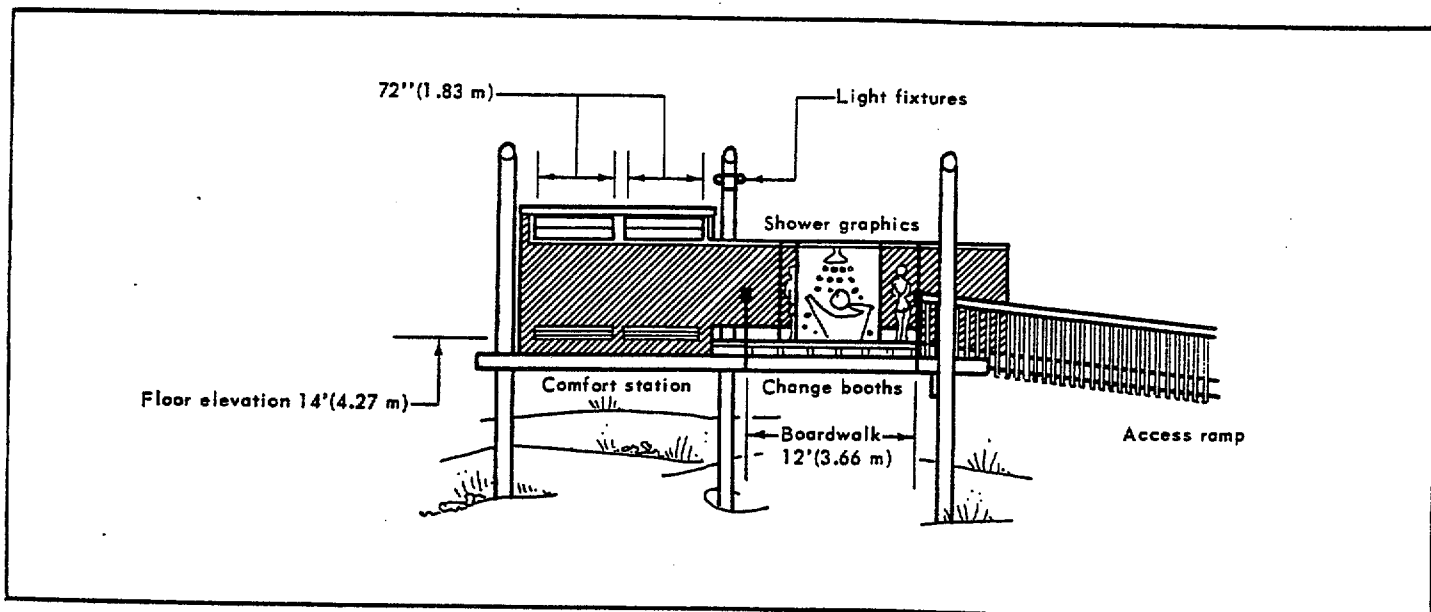


Fig. 30 - South Elevation - Comfort Station

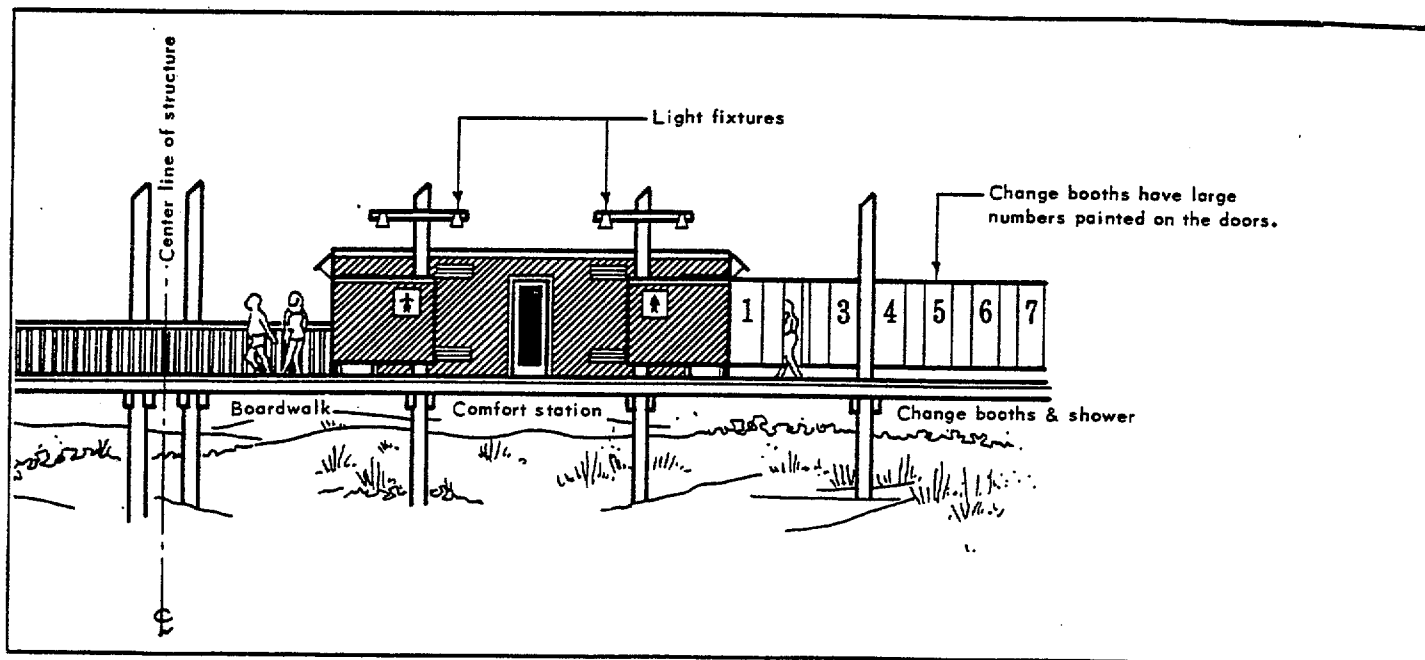
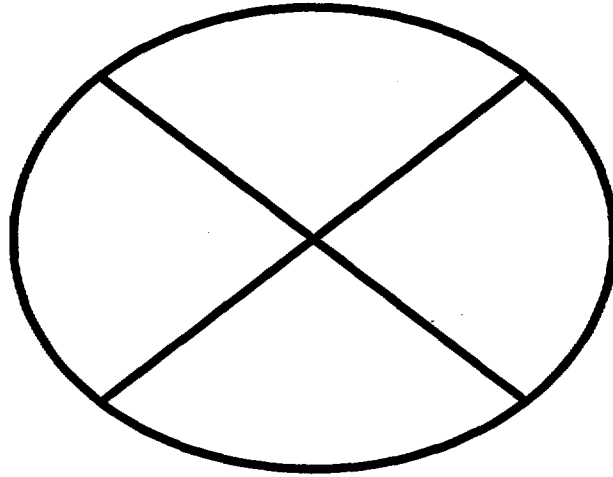


Fig. 31 - Right Half Elevation of Boardwalk

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"Frankfort Coastal Zone Mgmt. Plan"

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